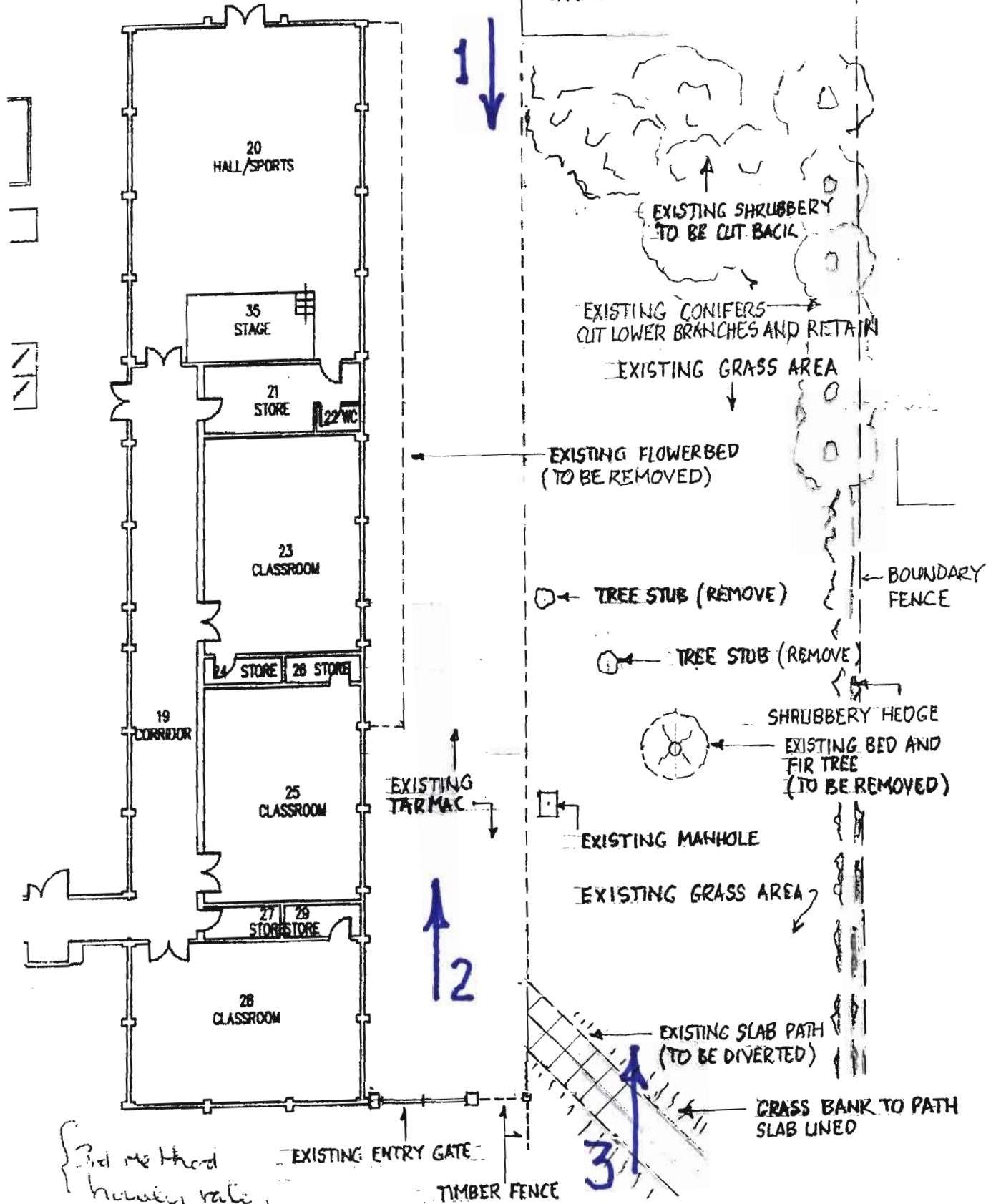
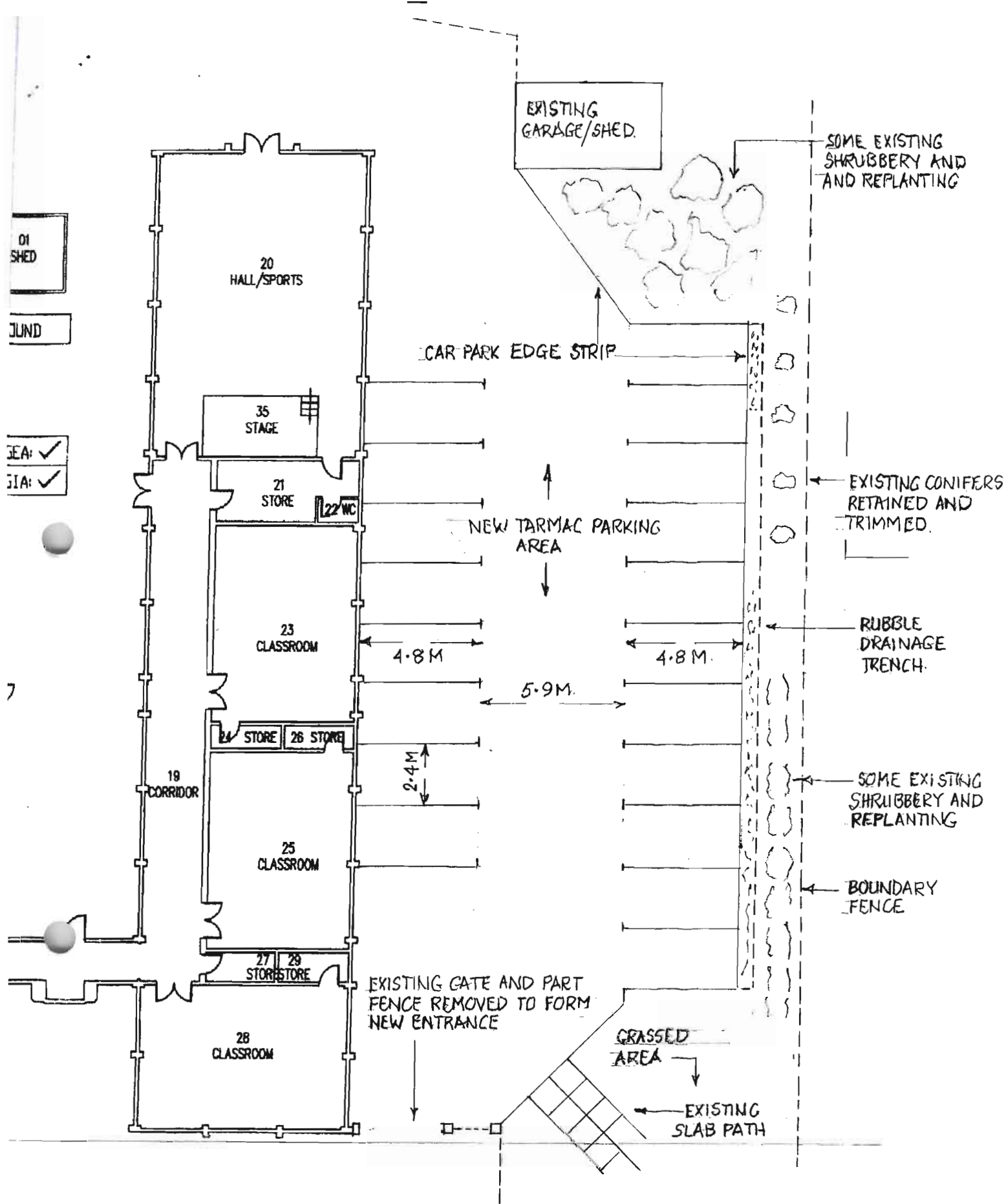


NORTHAMPTONSHIRE COUNTY COUNCIL
 - 8 FEB 2010
 GROWTH MANAGEMENT

DRAWING No 1
 SCALE 1:200



EXISTING LAYOUT PROPOSED
 CAR-PARK AREA



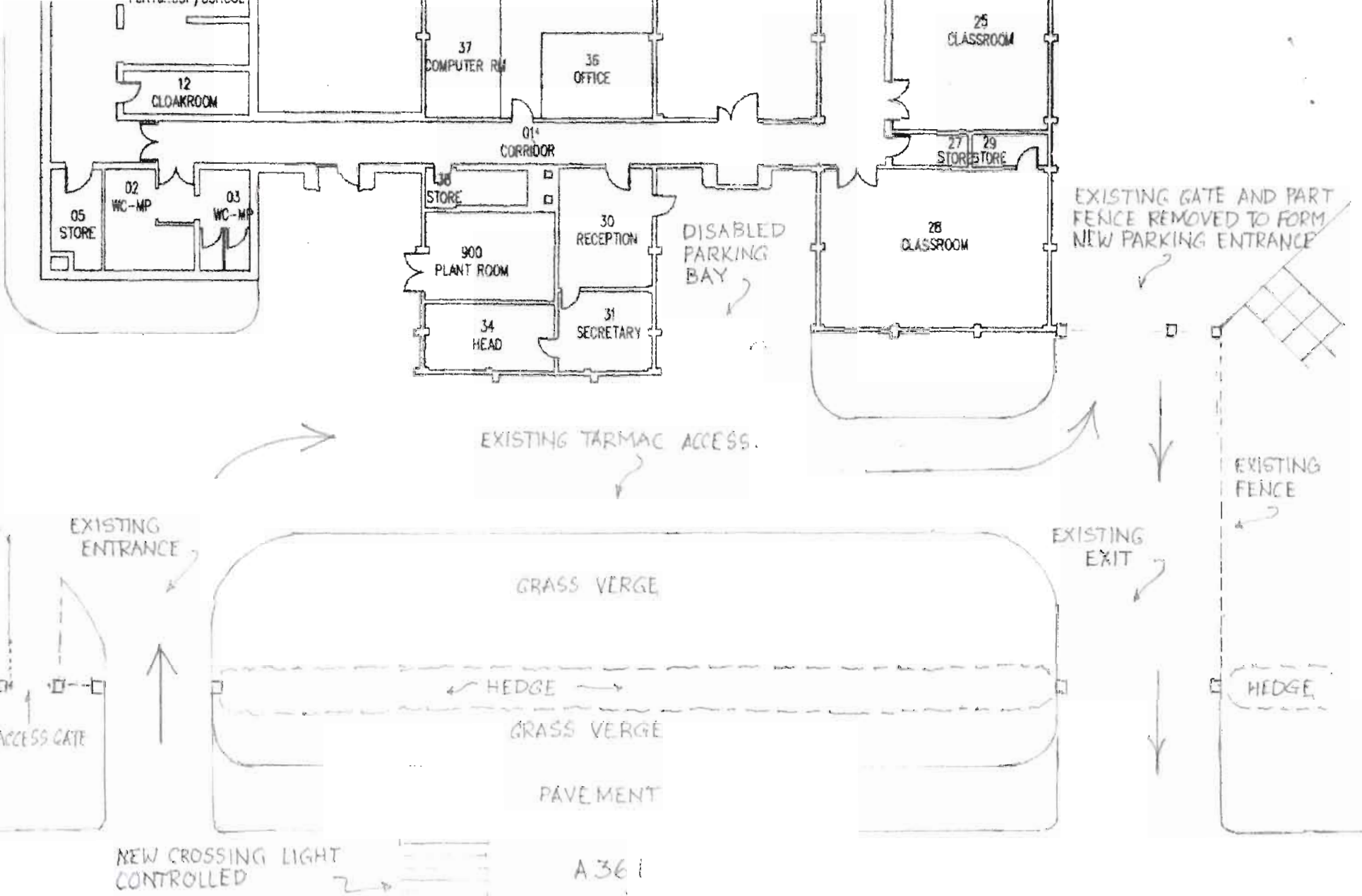
CHIPPING WARDEN PRIMARY SCHOOL
PROPOSED NEW CAR PARK AREA

DRAWING N° 2
SCALE 1:200

NORTHAMPTONSHIRE
COUNTY COUNCIL

- 4 MAR 2010

GROWTH MANAGEMENT



CHIPPING WARDEN PRIMARY SCHOOL
PROPOSED ENTRANCE/EXIT TO NEW PARKING AREA

DRAWING N^o 3A

SCALE 1:200

REV A PEDESTRIAN ACCESS GATE ADDED

CHIPPING WARDEN PRIMARY SCHOOL PROPOSED PARKING SITE PLAN

DRAWING N° 4 A

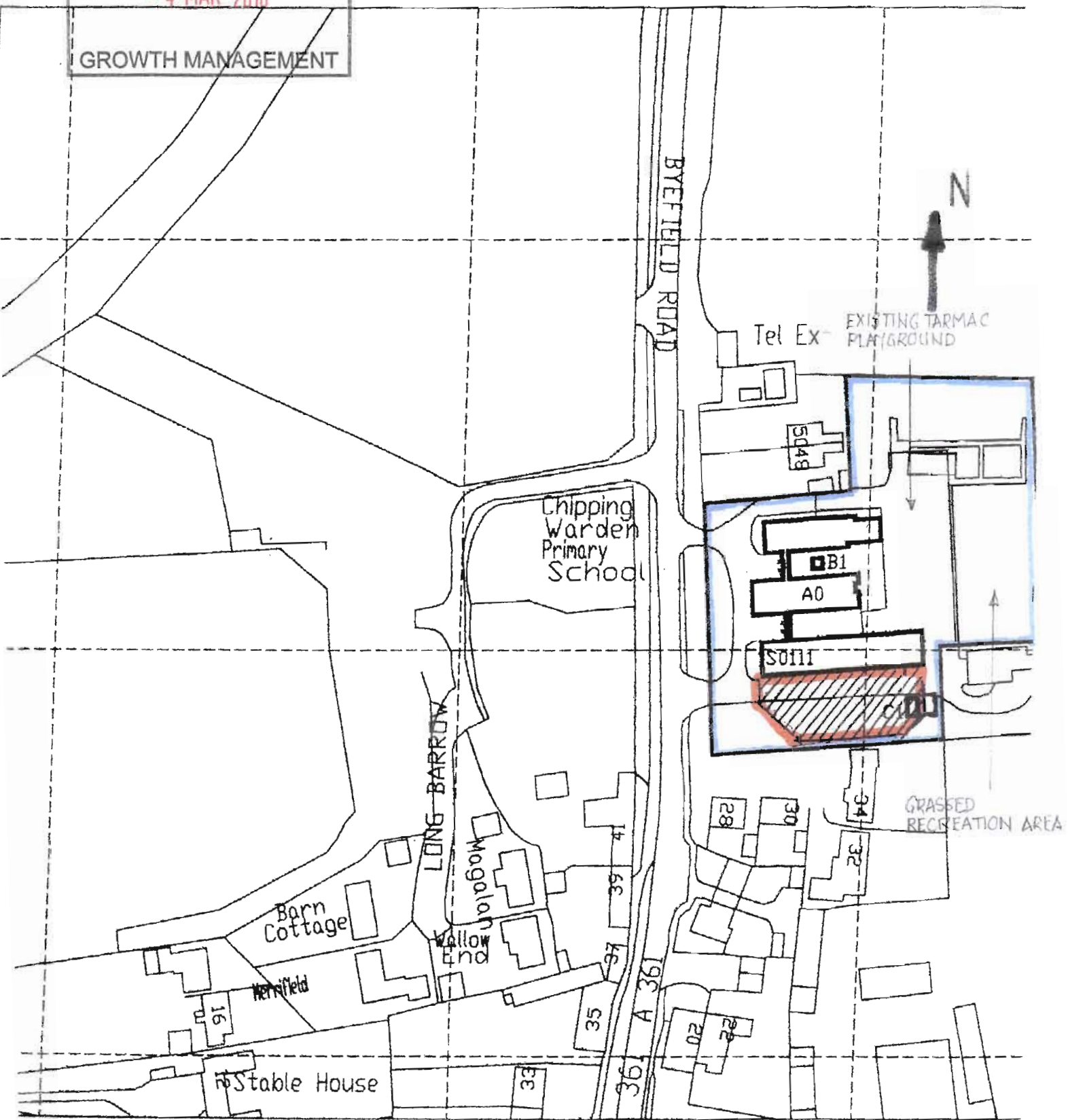
SCALE 1:1250

REV A. EXISTING PLAYGROUND AND GRASSED AREA INDICATED

NORTHAMPTONSHIRE
COUNTY COUNCIL

- 4 MAR 2010

GROWTH MANAGEMENT



Northamptonshire
County Council
Property Services
P.O. Box 188 County Hall
Northampton Fax (01604) 238880

| AREA | SITE | EST. | AREA |
|------|-------|------|----------|
| GSA | S0111 | E23 | 0.577 ha |
| BSA | S0111 | E23 | 0.341 ha |
| LISA | S0111 | E23 | 0.236 ha |

PROVISIONAL

This drawing is for reference only
for accurate information on boundaries
please refer to the County Terrier.

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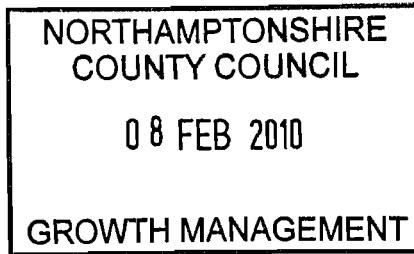






3

Development Control, Planning
P O Box 163
County Hall
Guildhall Road
Northampton
NN1 1AX



D G Hussey
Celandine
Hogg End
Chipping Warden
OX17 1LY
01295 660797

3rd February 2010

Dear Mr Moor

Re: Proposed Car Parking Chipping Warden Primary School

Further to our recent meeting I enclose my Application for Planning Permission for the above project.

I trust the documentation is in order but I would like to clarify the following.

Design and access statement:- As stated during our meeting I have submitted drawings to Highways Division and enclose herewith a copy of the response which I hope will satisfy your requirement.

Certificate of Ownership:- As I presume the County is the owner of the property I have completed this section after contacting Mr Shanks at John Dryden House and hope that it is correct. If this is not the case I apologise and would appreciate your guidance.

Agricultural Holdings Certificate :- Comments as for Certificate of Ownership

As per your suggestion I enclose some photographs of the existing site which I hope will clarify some aspects of the works.

Thank you for the assistance you have given me on this submission and please do not hesitate to contact me should you require any further information.

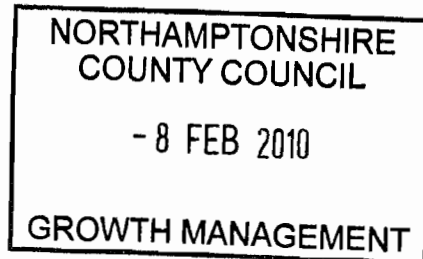
Yours sincerely



Don Hussey
School Governor



Northamptonshire County Council



D G Hussey
Celandine
Hogg End
Chipping Warden
OX17 1LY

Please ask for: Nicola Farrington
Tel: 01604 654318
Our ref: Pre-app Chipping Warden
Your ref:
Date: 18 January 2010

Dear Mr Hussey,

Proposed car parking Chipping Warden Primary School

Thank you for your recent letter together with plans showing the proposals for new parking arrangements at Chipping Warden Primary School.

As there is no change to the existing access / egress arrangements on to Byfield Road, I would have no objections to the proposal on highway grounds.

However, may I suggest that the parking arrangement is altered slightly to ease manoeuvring for the staff. Where you are showing the parking spaces at approximately 45 degrees, if you put them to 90 degrees you would be able to get in a couple of more spaces (if required) and still provide sufficient space behind the spaces for manoeuvring. We would normally request 6m behind the spaces and you have just enough space to do this (you may be 10cm short but this would be acceptable). This would also still leave space for turning at the top of the parking area and also would involve less manoeuvring at the car park entrance.

I have attached a rough sketch overlay of your original drawing showing my thoughts above. The parking spaces would be 2.4m x 4.8m as per our standards.

I trust the above information is of use to you, should you require any further information, please do not hesitate to contact me.

Yours sincerely,

Nicola Farrington
Development Control Engineer

Riverside House
Riverside Way
Northampton
NN1 5NX

w. www.northamptonshire.gov.uk

t. 01604 654318

f.

e. nfarrington@northamptonshire.gov.uk



NORTHAMPTONSHIRE
COUNTY COUNCIL

- 4 MAR 2010

GROWTH MANAGEMENT

Chipping Warden Primary School Car Park

Design and Access Statement

Design Statement

The design has been generated due to the need to provide on site parking for permanent and part time teaching staff.

At present cars are parked in an irregular fashion around the school premises often obstructing the clear passage of existing driveways.

The present arrangements are inadequate and a suitable site for a car park within the premises is proposed using an existing large grassed area adjoining the school. The area is available as it is not used for any recreational purposes of the pupils.

Existing recreational facilities comprise a tarmac playground area with adjoining grassed area at the rear of the school, these are used for all general school break periods, sports, fetes and open day activities. These are indicated on Drawing No 4A.

The proposed location of the car park will in no way interfere with the present arrangements.

Access Statement

The proposed car park will be accessed by the existing school entry and exit arrangements from the A361 which passes the front of the school.

The location of the school in relation to the A361 is indicated on the Site Plan Drawing No 4A. As will be seen there are two means of access into the school area, one is designated as an entry and the other an exit, there is a short drive area in front of the school.

From the front drive area there are two tarmac driveways, one each side of the school, giving access to the rear play area. These are used for any services that may be required to the rear of the school.

It is intended that one of these drives adjoining a grassed area be extended to form the proposed car park. The intended traffic movement for entry and exit to the new parking is indicated on Drawing No 3A.

Parents and pupils at present enter the school via a separate gate with a path leading onto one of the existing driveways. As this will now be the parking zone it is proposed that a new gate be formed alongside the main entry point to the school giving pedestrian access direct to the rear play area for entry to the school. I have indicated this proposal on Drawing No 3A.